

ROOSEVELT PARK

BLOCK 121, LOT 1

528 MARKET STREET

CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

SITING PLANS

CAMDEN REDEVELOPMENT AGENCY

CITY HALL, SUITE 1300
CITY OF CAMDEN, NEW JERSEY

Pennoni

PENNONI ASSOCIATES INC.

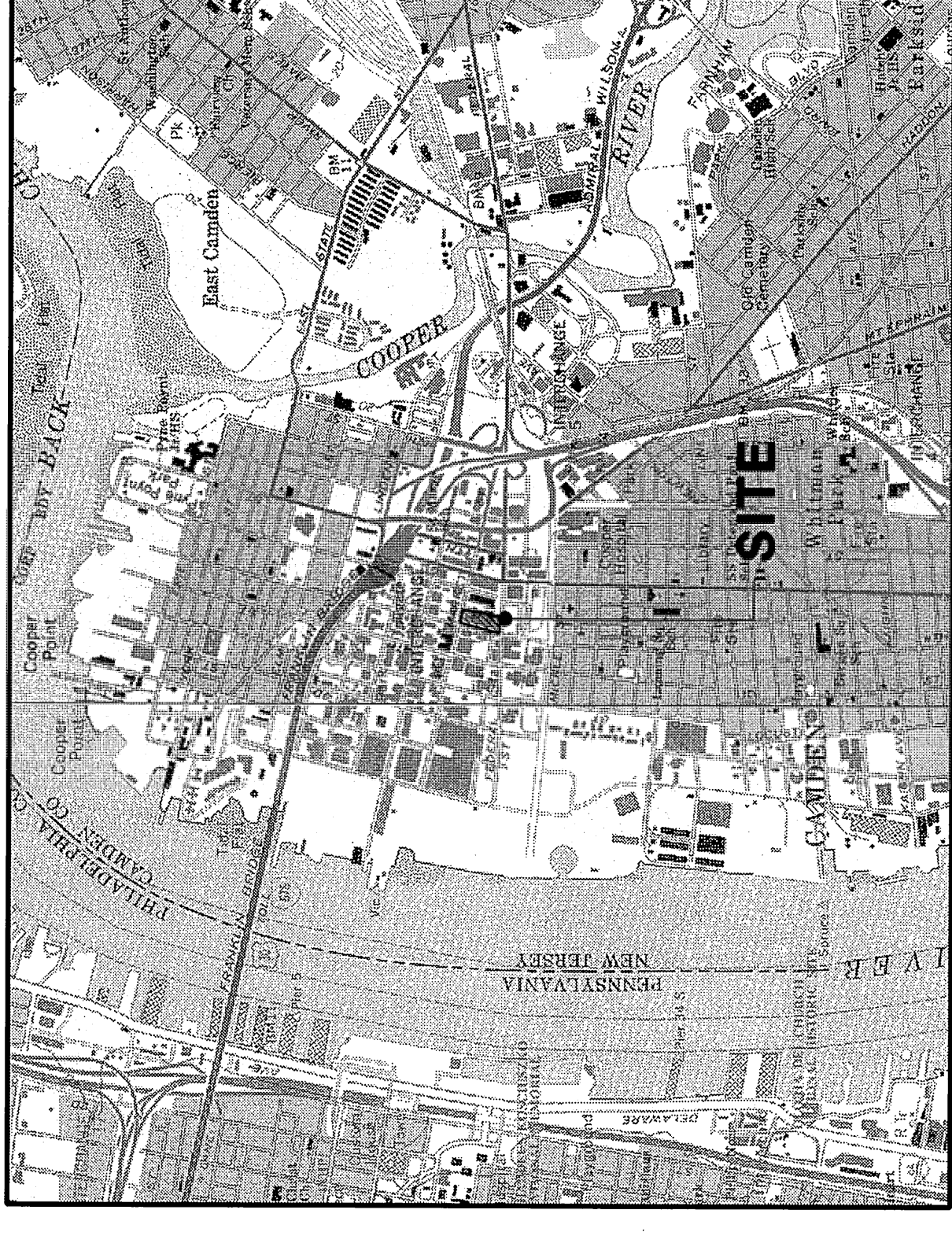
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS

515 GROVE ST. SUITE 2C, HADDON HEIGHTS, NJ 08035

TEL: 856 • 547 • 0505 FAX: 856 • 547 • 9174 www.pennoni.com

NOTE:
APPLICANT SHALL COMPLY WITH THE CITY OF CAMDEN'S RECENTLY ADOPTED "ORDINANCE ESTABLISHING STANDARDS FOR THE PREPARATION OF PLANNING PERMITS IN A DIGITAL FORMAT". THE APPLICANT SHOULD BE AWARE THAT THE SIGNATURES OF APPROVAL AND BUILDING PERMITS WILL NOT BE ISSUED UNTIL THE REQUIRED INFORMATION IS RECEIVED.

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE CITY OF CAMDEN. PENNONI ASSOCIATES INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, CONTACT THE CITY OF CAMDEN AT (856) 961-1000.



USGS QUAD SHEET (CAMDEN, NJ)
N 39°56'41" W 75°07'15"

LOCATION MAP
1" = 2000'

UTILITY COMPANIES

WATER SERVICE	CAMDEN WATER LLC OR NJ AMERICAN WATER CAMDEN, N.J. 08101 856-635-1496
SEWER	CAMDEN PUBLIC WORKS DEPT. 1655 WRIGHT AVENUE CAMDEN, N.J. 08103 856-757-7885 (CONTACT: FRED MARTIN)
GAS	PUBLIC SERVICE ELECTRIC & GAS 535 WEST NICHOLSON ROAD CAMDEN, N.J. 08106 856-573-2067
ELECTRIC	PUBLIC SERVICE ELECTRIC & GAS ELECTRIC DIVISION-ENGINEERING DEPARTMENT 535 WEST NICHOLSON ROAD MOORESTOWN, N.J. 08057 856-778-6777
TELEPHONE	VERIZON TELEPHONE 2225 EYESHAW ROAD Voorhees, N.J. 08043 856-772-9904
CABLE	COMCAST 1250 HADDONFIELD-BERLIN ROAD, CHERRY HILL, N.J. 856-354-1880

DRAWING INDEX

SHEET NO.	DWG NO.	SHEET TITLE	DATE	LAST REV.
1 OF 9	CS-0001	COVER SHEET	8/26/11	
2 OF 9	CS-0501	DEMOLITION PLAN	8/26/11	
3 OF 9	CS-0501	SITE/LANDSCAPE PLAN	8/26/11	
4 OF 9	CS-1501	GRADING AND UTILITY PLAN	8/26/11	
5 OF 9	CS-6001	CONSTRUCTION DETAILS	8/26/11	
6 OF 9	CS-6001	CONSTRUCTION DETAILS	8/26/11	
7 OF 9	CS-6002	SOIL EROSION AND SEDIMENT CONTROL PLAN	8/26/11	
8 OF 9	CS-8501	NOTES AND DETAILS	8/26/11	
9 OF 9	CS-8501	NOTES AND DETAILS	8/26/11	

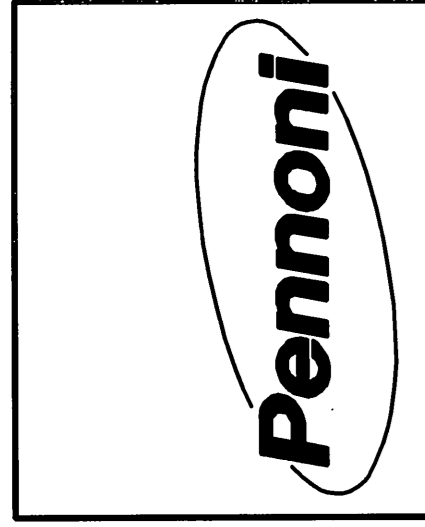
PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

PLANNING BOARD ENGINEER _____ DATE _____

APPROVED BY JOHN KROMER _____ DATE _____
EXECUTIVE DIRECTOR OF CAMDEN REDEVELOPMENT AGENCY

DWG NO. CS-0001
SHEET NO. 1 OF 9
DATE: 8/26/11
JOB NO.: CNRA 1101



NO.	DATE	REVISIONS	BY

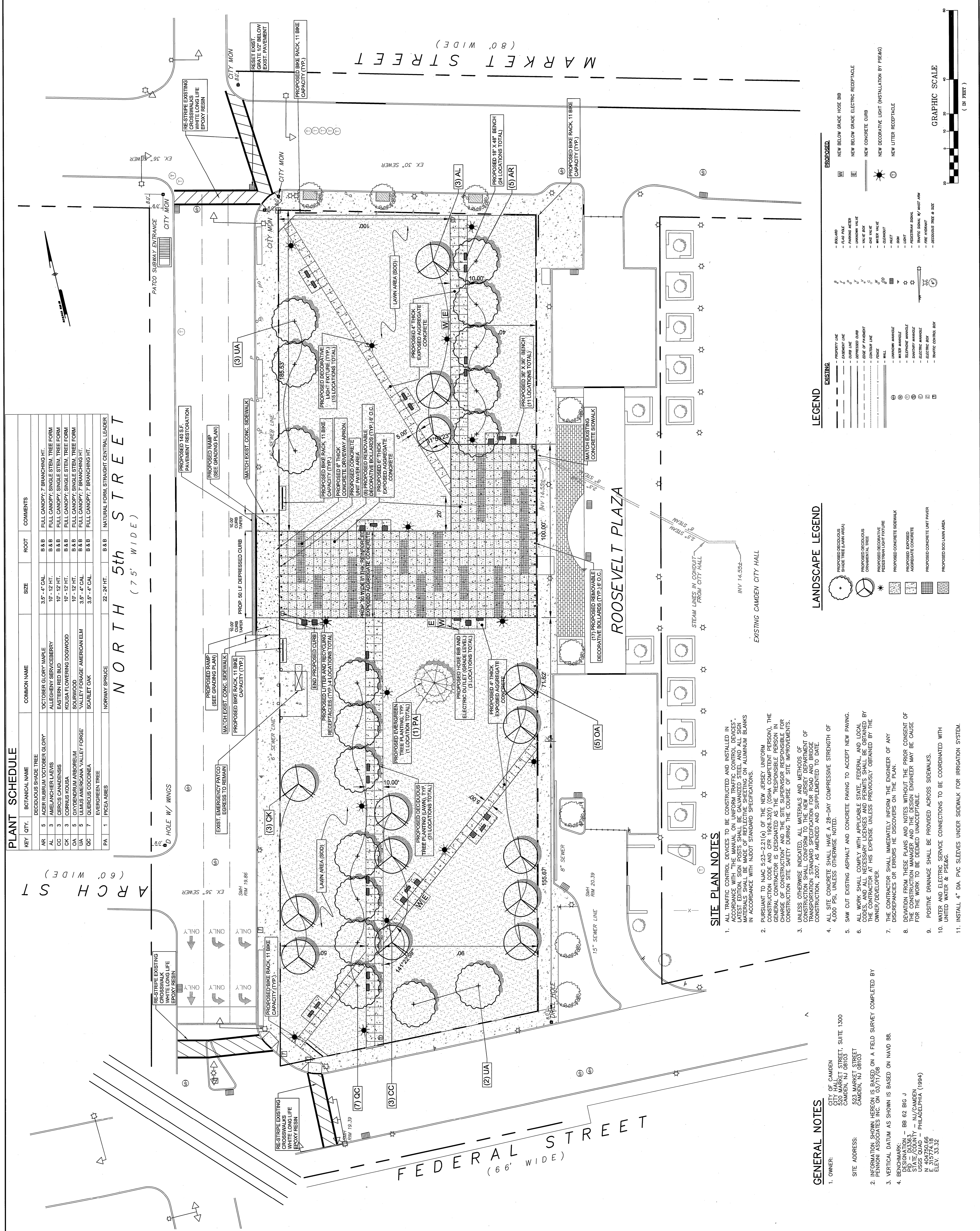
NEW JERSEY LICENSE NO. GE 41350
 CHAD GAULRAPP
 PROFESSIONAL ENGINEER
 ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR AND OWNER MUST BE ADVISED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

520 MARKET STREET, CAMDEN CITY HALL, SUITE 1300
 CAMDEN REDEVELOPMENT AGENCY
SITE / LANDSCAPE PLAN
 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY
 ROOSEVELT PLAZA
 Hadon Heights, N.J. 08035
 515 Grove Street
 Associates Inc.
 Engineers • Surveyors • Planners • Landscape Architects
 TEL: 856 • 547 • 0505
 FAX: 856 • 547 • 9174
 WWW.PENNONI.COM

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NO.	DATE	REVISIONS	BY

SCALE: 1" = 20'
 DRAWN BY: BM
 DATE: 8/26/11
 SHEET: 3 OF 9
 JOB NO.: CHRA 1101
 APPROVED: CS-1001



PLANT SCHEDULE

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
AR	DECIDUOUS SHADE TREE				
5	OCTOBER GLORY MAPLE	OCTOBER GLORY MAPLE	3.5" - 4" CAL	B & B	FULL CANOPY, 7 BRANCHING HT.
3	ALLEGHENY SERVICE BERRY	ALLEGHENY SERVICE BERRY	10" - 12" HT.	B & B	FULL CANOPY, SINGLE STEM, TREE FORM
3	AMERICAN RED BUD	AMERICAN RED BUD	10" - 12" HT.	B & B	FULL CANOPY, SINGLE STEM, TREE FORM
3	CORNUS KOUSA	CORNUS KOUSA	10" - 12" HT.	B & B	FULL CANOPY, SINGLE STEM, TREE FORM
3	DOGWOOD	DOGWOOD	10" - 12" HT.	B & B	FULL CANOPY, SINGLE STEM, TREE FORM
3	FRAXINUS VIRGINIANA	WHITE OAK	10" - 12" HT.	B & B	FULL CANOPY, SINGLE STEM, TREE FORM
3	ULMUS AMERICANA VALLEY FORGE	VALLEY FORGE AMERICAN ELM	3.5" - 4" CAL	B & B	FULL CANOPY, 7 BRANCHING HT.
3	QUERCUS COCCINEA	SCARLET OAK	3.5" - 4" CAL	B & B	FULL CANOPY, 7 BRANCHING HT.
7	EVERGREEN TREE				
1	PICEA ABIES	NORWAY SPRUCE	22' - 24' HT.	B & B	NATURAL FORM, STRAIGHT CENTRAL LEADER

EXISTING

- PROPERTY LINE
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING CONCRETE
- EXISTING PAVEMENT
- EXISTING UTILITY
- EXISTING TREE
- EXISTING SHRUB
- EXISTING FENCE
- EXISTING WALL
- EXISTING WATER MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING SANDWICH MANHOLE
- EXISTING ELECTRICAL MANHOLE
- EXISTING TRAFFIC CONTROL BOX

PROPOSED

- NEW BELOW GRADE HOSE BIB
- NEW BELOW GRADE ELECTRIC RECEPTACLE
- NEW CONCRETE CURB
- NEW DECORATIVE LIGHT (INSTALLATION BY PREL&G)
- NEW UTILITY RECEPTACLE

LANDSCAPE LEGEND

- PROPOSED DECIDUOUS SHADE TREE (LAWN AREA)
- PROPOSED DECIDUOUS ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED EXPOSED AGGREGATE CONCRETE
- PROPOSED CONCRETE UNIT PAVEMENT
- PROPOSED 800 LAWN AREA

SITE PLAN NOTES

- ALL TRAFFIC CONTROL DEVICES TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL TRAFFIC CONTROL DEVICES SHALL BE ORDERED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- PURSUANT TO N.J.A.C. 17:27 (6) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND C.F.R. 1926.320 (OSHA COMPETENT PERSON), THE GENERAL CONTRACTOR IS DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.
- UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (NJDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2007, AS AMENDED AND SUPPLEMENTED TO DATE.
- ALL SITE CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, UNLESS OTHERWISE NOTED.
- SAW CUT EXISTING ASPHALT AND CONCRETE PAVING TO ACCEPT NEW PAVING.
- ALL WORK SHALL CONFORM WITH APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS. ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS ON THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF PENNONI ASSOCIATES INC. IS STRICTLY PROHIBITED. THE ENGINEER SHALL BE RESPONSIBLE FOR THE WORK TO BE DEEMED UNACCEPTABLE.
- POSITIVE DRAINAGE SHALL BE PROVIDED ACROSS SIDEWALKS.
- WATER AND ELECTRIC SERVICE CONNECTIONS TO BE COORDINATED WITH UNITED WATER & PSE&G.
- INSTALL 4" DIA. PVC SLEEVES UNDER SIDEWALK FOR IRRIGATION SYSTEM.

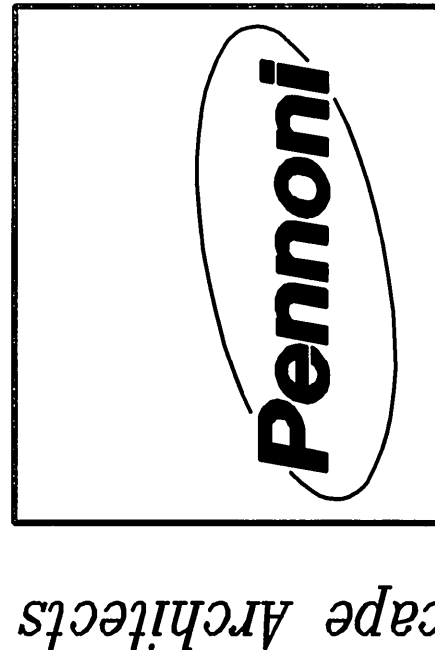
GENERAL NOTES

- OWNER: CITY OF CAMDEN, 520 MARKET STREET, SUITE 1300, CAMDEN, NJ 08103
- SITE ADDRESS: 523 MARKET STREET, CAMDEN, NJ 08103
- INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY COMPLETED BY PENNONI ASSOCIATES INC. ON 03/17/08
- VERTICAL DATUM AS SHOWN IS BASED ON NAVD 88. BENCHMARK: BB 82 BIG J, ELEVATION: 33.363. STATE/COUNTY: NJ/CAMDEN, PHILADELPHIA (1984), N 404250.66, E 315774.18, ELEV. 33.32

LEGEND

- PROPOSED
- EXISTING

GRAPHIC SCALE (IN FEET)



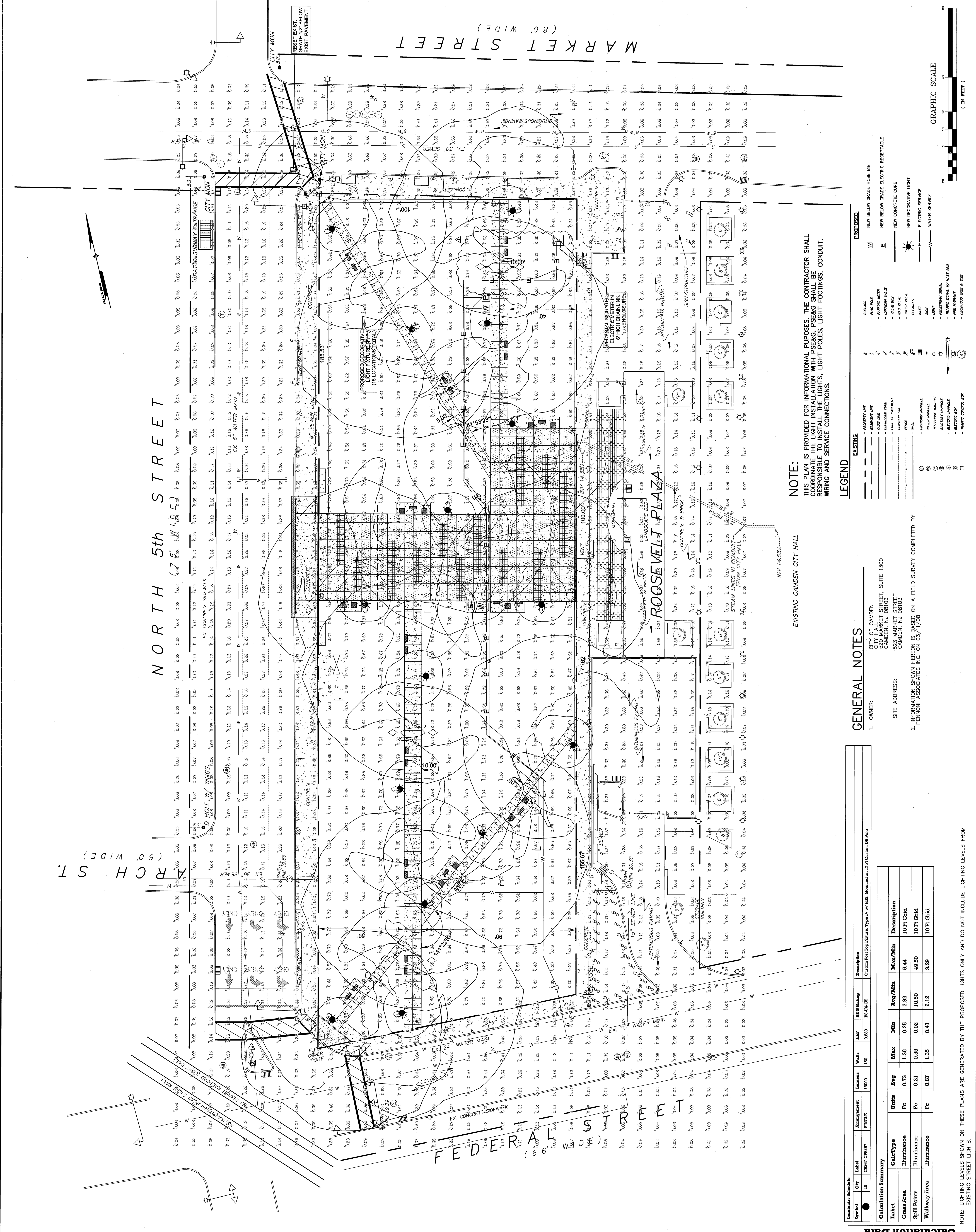
DATE	NO.	REVISIONS
8/21/11	1	REVERSE ELECTRICAL SERVICE
BY		BM

CHAD GAULRAPP
 NEW JERSEY LICENSE NO. CE 41350
 PROFESSIONAL ENGINEER

CAMDEN REDEVELOPMENT AGENCY
 520 MARKET STREET, CAMDEN, NJ 08103

PROJECT NO.	CS-2201
DATE	8/26/11
DRAWN BY	BM
CHECKED BY	
SCALE	1"=20'
SHEET	5 OF 9
CITY	CAMDEN, NJ

Pennoni Associates Inc. 515 Grove Street, Haddon Heights, NJ 08035
 Engineers • Surveyors • Planners • Landscape Architects



NOTE:
 THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL COORDINATE THE LIGHT INSTALLATION WITH PSE&G. PSE&G SHALL BE RESPONSIBLE TO INSTALL THE LIGHTS, LIGHT POLES, LIGHT FOOTINGS, CONDUIT, WIRING AND SERVICE CONNECTIONS.

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	NEW BELOW GRADE HOSE BIG
EASEMENT LINE	NEW BELOW GRADE ELECTRIC RECEPTACLE
CONCRETE CURB	NEW CONCRETE CURB
EDGE OF PARKING	NEW DECORATIVE LIGHT
CONTOUR LINE	ELECTRIC SERVICE
POLE	WATER SERVICE
NEW MANHOLE	
EXISTING MANHOLE	
SEWER MANHOLE	
WATER MANHOLE	
WATER SERVICE	
SEWER SERVICE	
ELECTRIC SIGNAL	
TRAFFIC SIGNAL	
ELECTRIC BOX	
TRAFFIC CONTROL ARM	

GENERAL NOTES

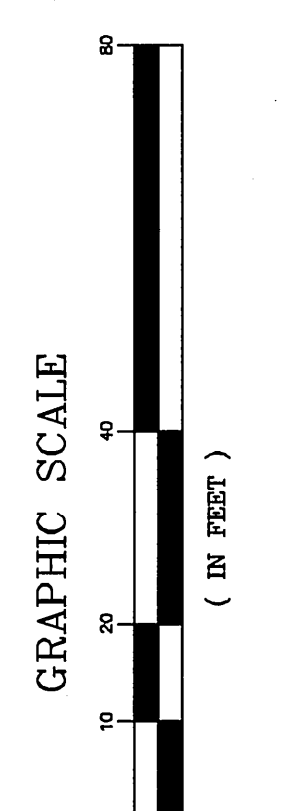
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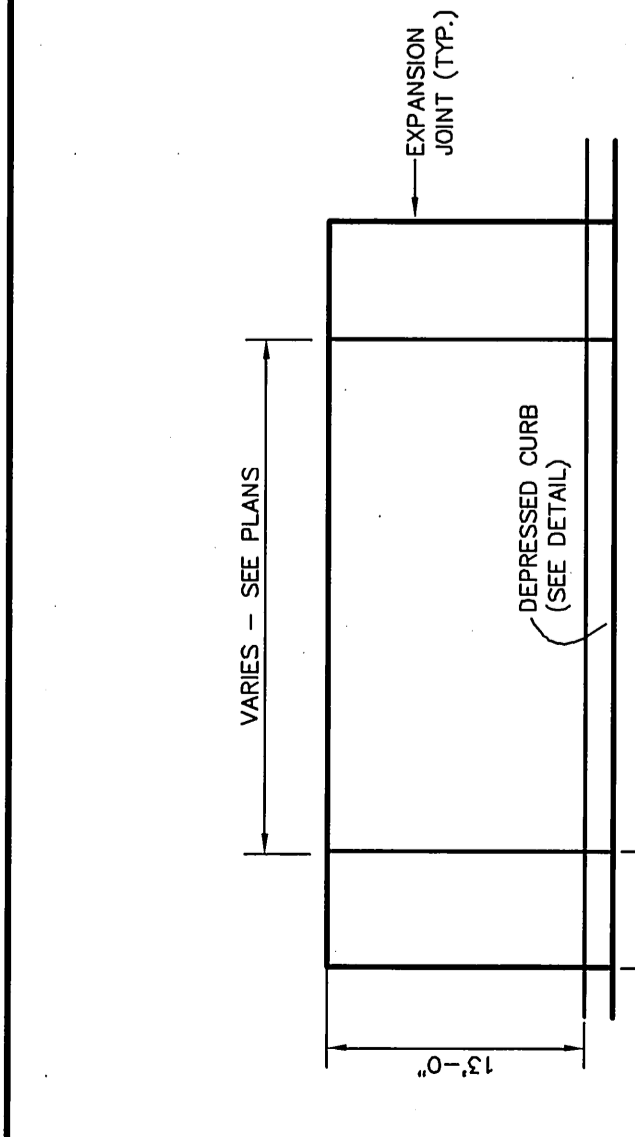
Calculation Data

Symbol	Qty	Label	Accessories	Lumens	Watts	ELF	IESD Rating	Description
●	15	CS90-CR907	SINGLE	10000	100	0.80	20-12-CD	Compact Fluorescent Fixture, Type IV w/IESD, Mounted on 17' Pole, 28 Pole

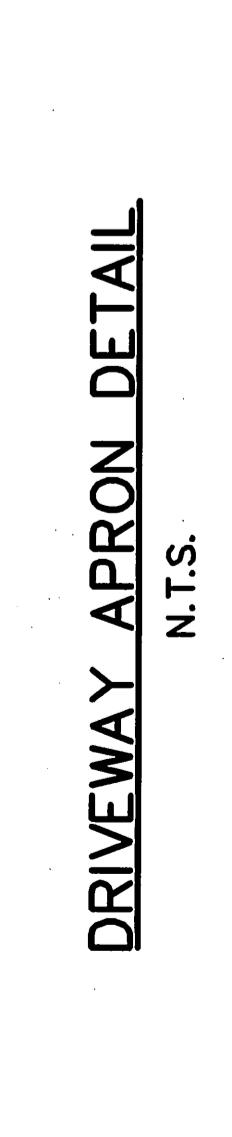
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Crass Area	Illuminance	Fc	0.73	1.95	0.25	2.92	5.44	10 Fc Grid
Spill Points	Illuminance	Fc	0.21	0.99	0.02	10.50	49.90	10 Fc Grid
Walkway Area	Illuminance	Fc	0.97	1.95	0.41	2.12	3.29	10 Fc Grid

NOTE: LIGHTING LEVELS SHOWN ON THESE PLANS ARE GENERATED BY THE PROPOSED LIGHTS ONLY AND DO NOT INCLUDE LIGHTING LEVELS FROM EXISTING STREET LIGHTS.

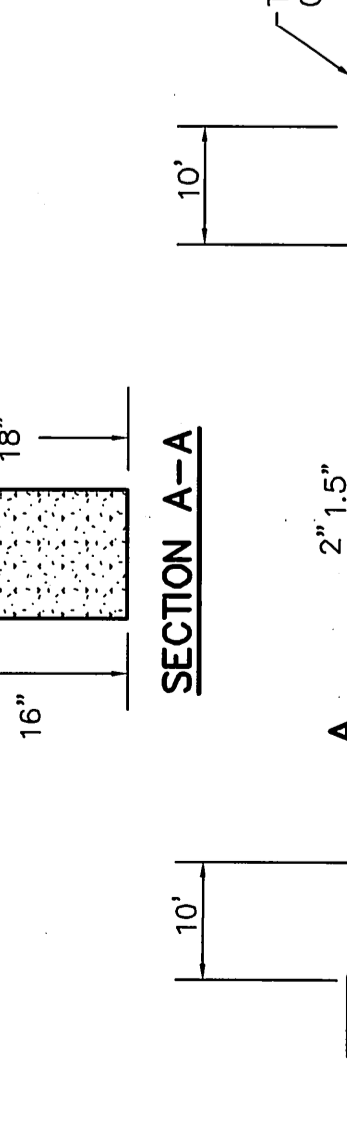




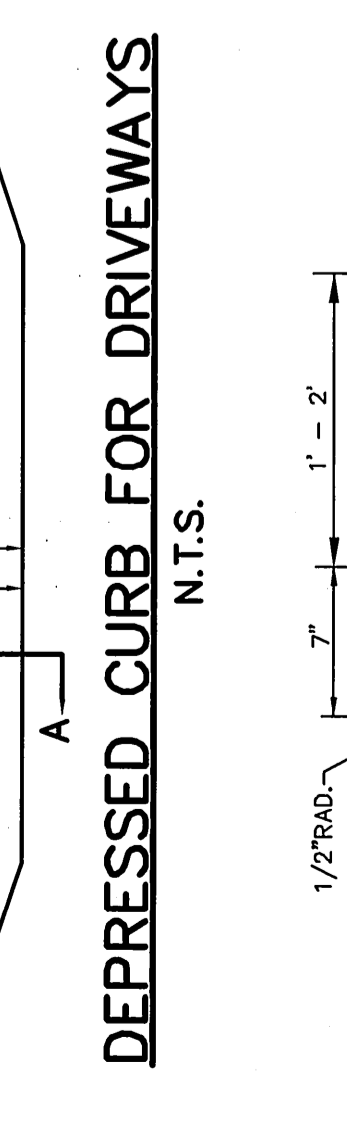
DRIVEWAY APRON DETAIL
N.T.S.



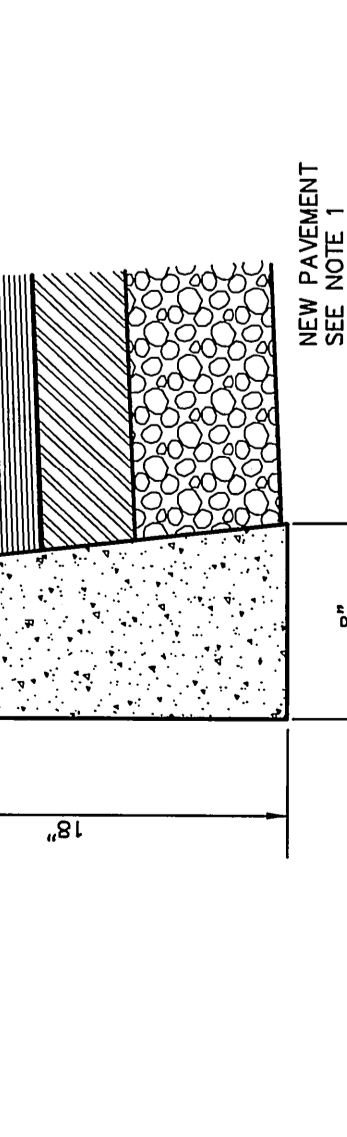
DEPRESSED CURB FOR DRIVEWAYS
N.T.S.



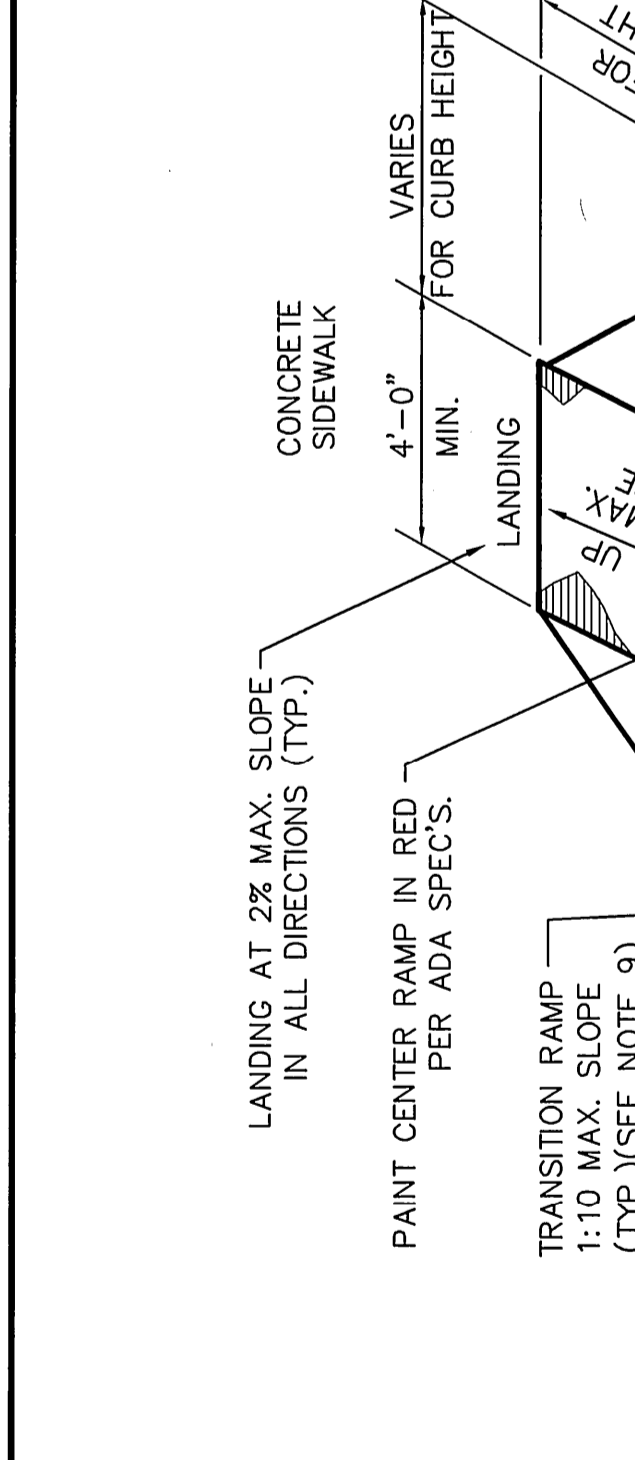
CONCRETE CURB DETAIL
N.T.S.



ASPHALT ROADWAY SECTION
N.T.S.



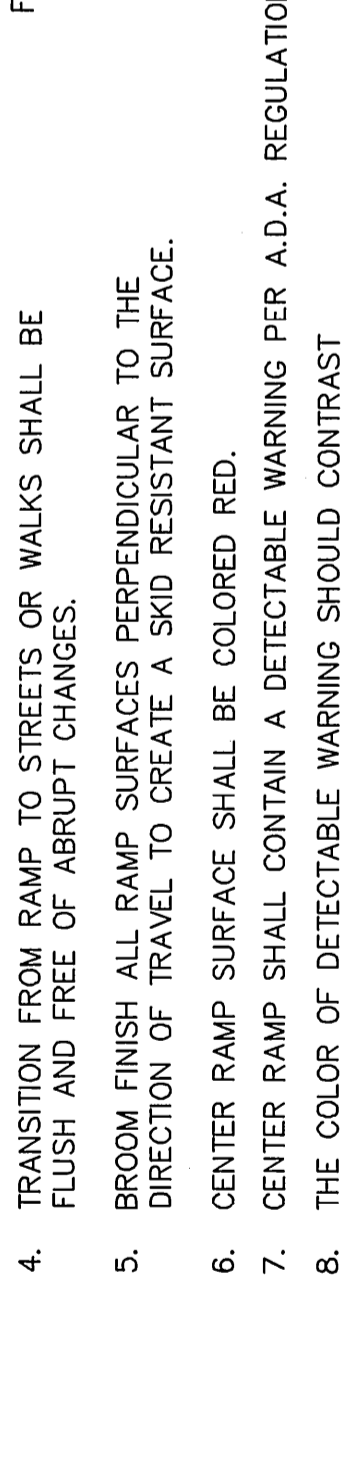
CROSSWALK STRIPING
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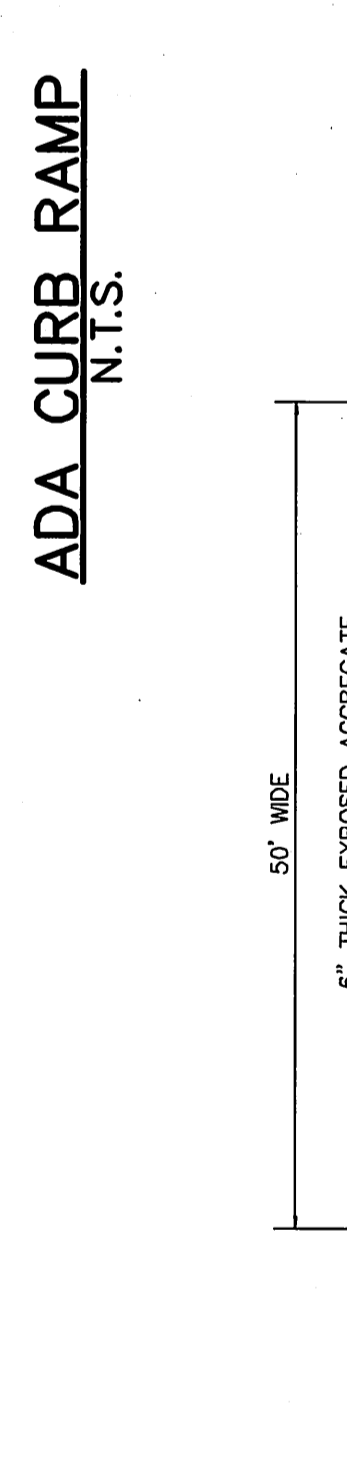
ADA CURB RAMP
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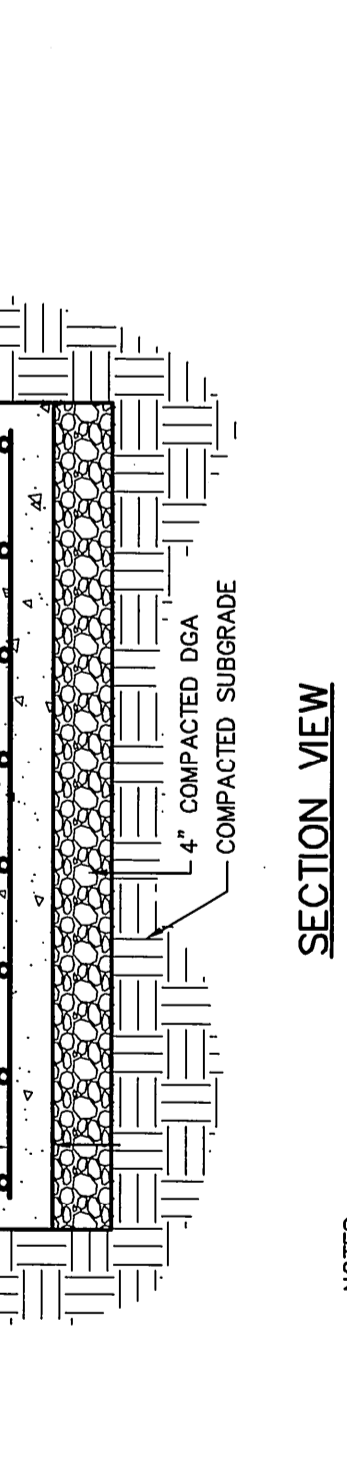
CENTRAL AREA EXPOSED AGGREGATE CONCRETE PAVING SECTION
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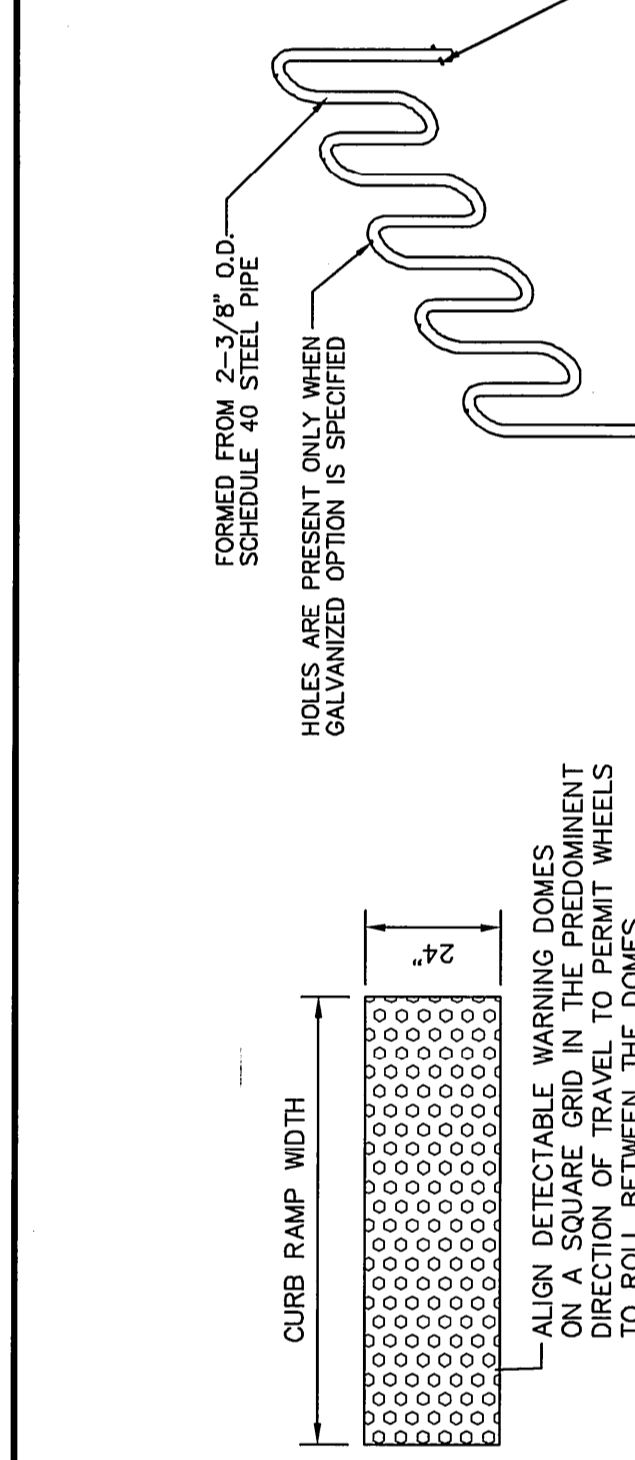
EXPOSED AGGREGATE CONCRETE PAVING SECTION
N.T.S.



HOSE BIB DETAIL
N.T.S.



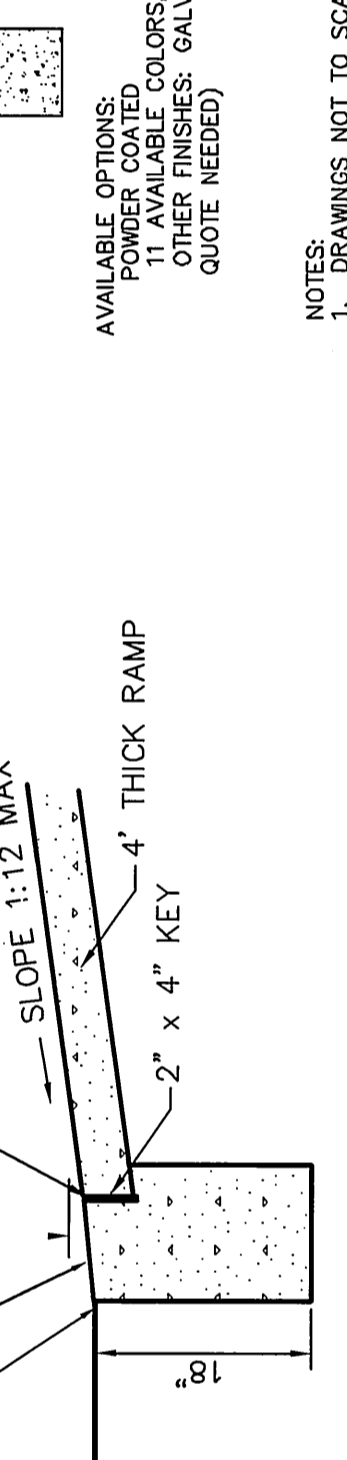
SINGLE GATE ELEVATION
N.T.S.



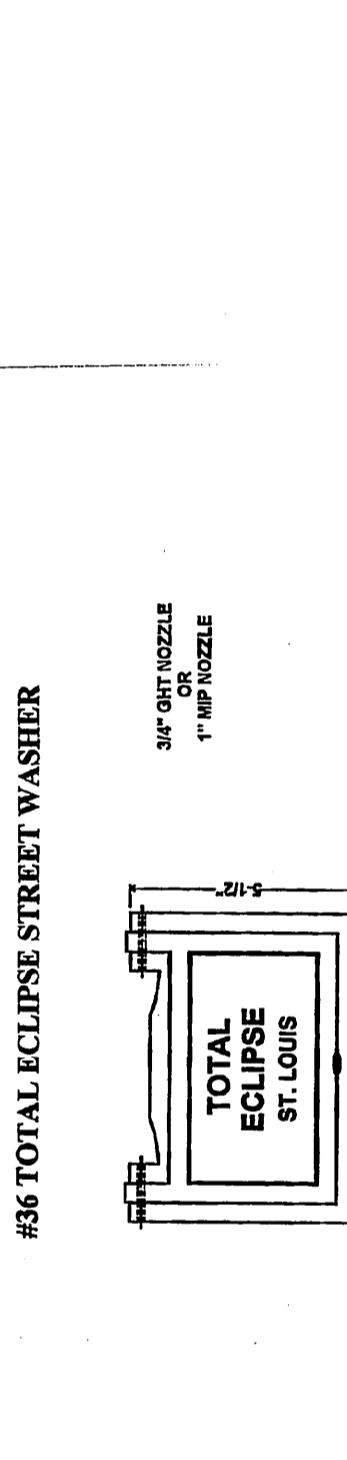
TRUNCATED DOMES



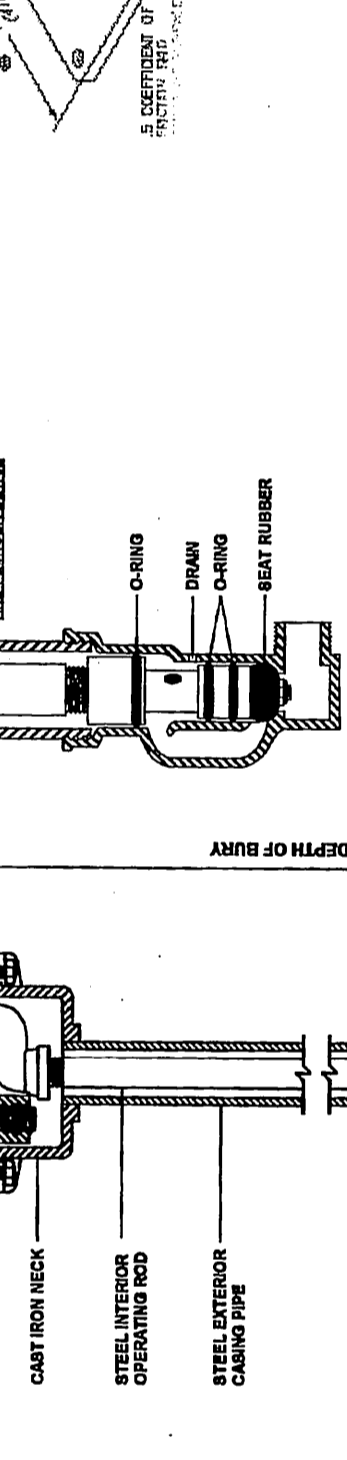
BIKE RACK DETAIL
N.T.S.



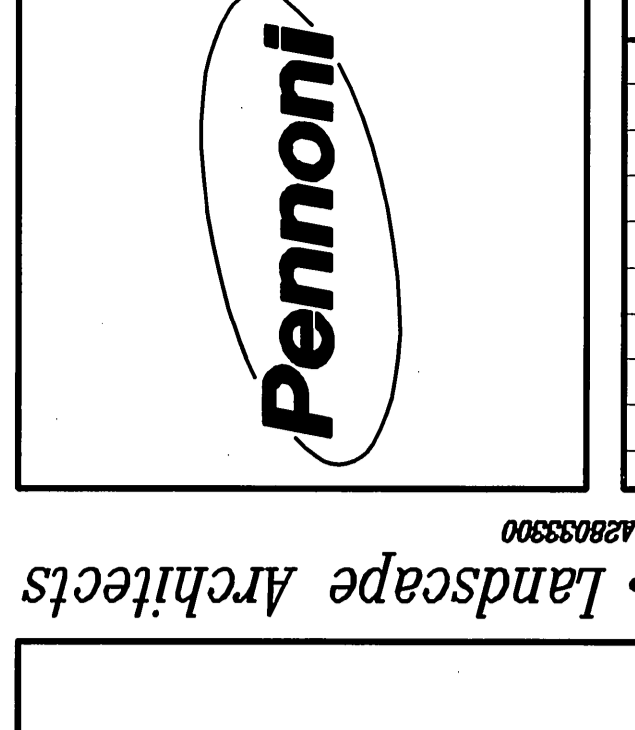
ELECTRICAL RECEPTACLE BOX DETAIL
N.T.S.



CHAIN LINK FENCE (FOR ELECTRIC METER ENCLOSURE)
N.T.S.



FORD PLASTIC METER PIT (SINGLE LID TYPE)
N.T.S.



NO.	DATE	REVISIONS
1	9/20/11	ADDED METER PIT DETAIL
2		
3		
4		
5		
6		
7		
8		
9		
10		

CHAD GAULRAPP
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 41350

515 Grove Street
Hadon Heights, N.J. 08035
TEL: 856 • 547 • 0505
FAX: 856 • 547 • 9174
WWW.PENNONI.COM

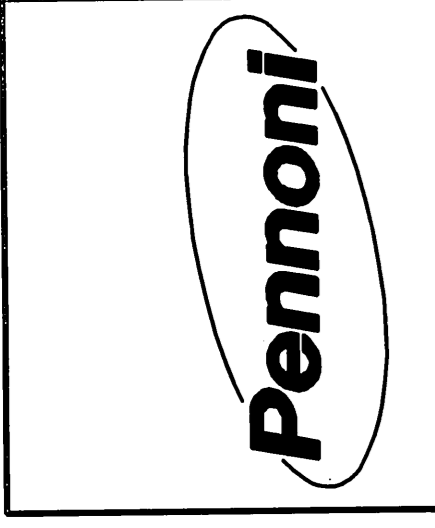
ROSEVELT PLAZA
523 MARKET STREET
CITY OF CAMDEN, CAMDEN COUNTY NEW JERSEY
CONSTRUCTION DETAILS
CAMDEN REDEVELOPMENT AGENCY
520 MARKET STREET, CAMDEN CITY HALL, SUITE 1300
CAMDEN, NJ 08103

CS-6001
DRAWING NO.
SCALE: AS NOTED
DATE: 8/26/11
APPROVED: [Signature]

6 OF 9
SHEET
CHRA 101
JOB NO.

Pennoni Associates Inc.
Engineers • Surveyors • Planners • Landscape Architects
IN CERTIFICATE OF AUTHORIZATION NO. GA08038800

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NO.	DATE	REVISIONS
1	9/20/11	REVISED ELECTRICAL SERVICE
BY		

CHAD GAULRAPP
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. CE 41350

SOIL EROSION AND SEDIMENT CONTROL PLAN
 CAMDEN REDEVELOPMENT AGENCY
 520 MARKET STREET, CAMDEN CITY HALL, SUITE 1300
 CAMDEN, NJ 08103

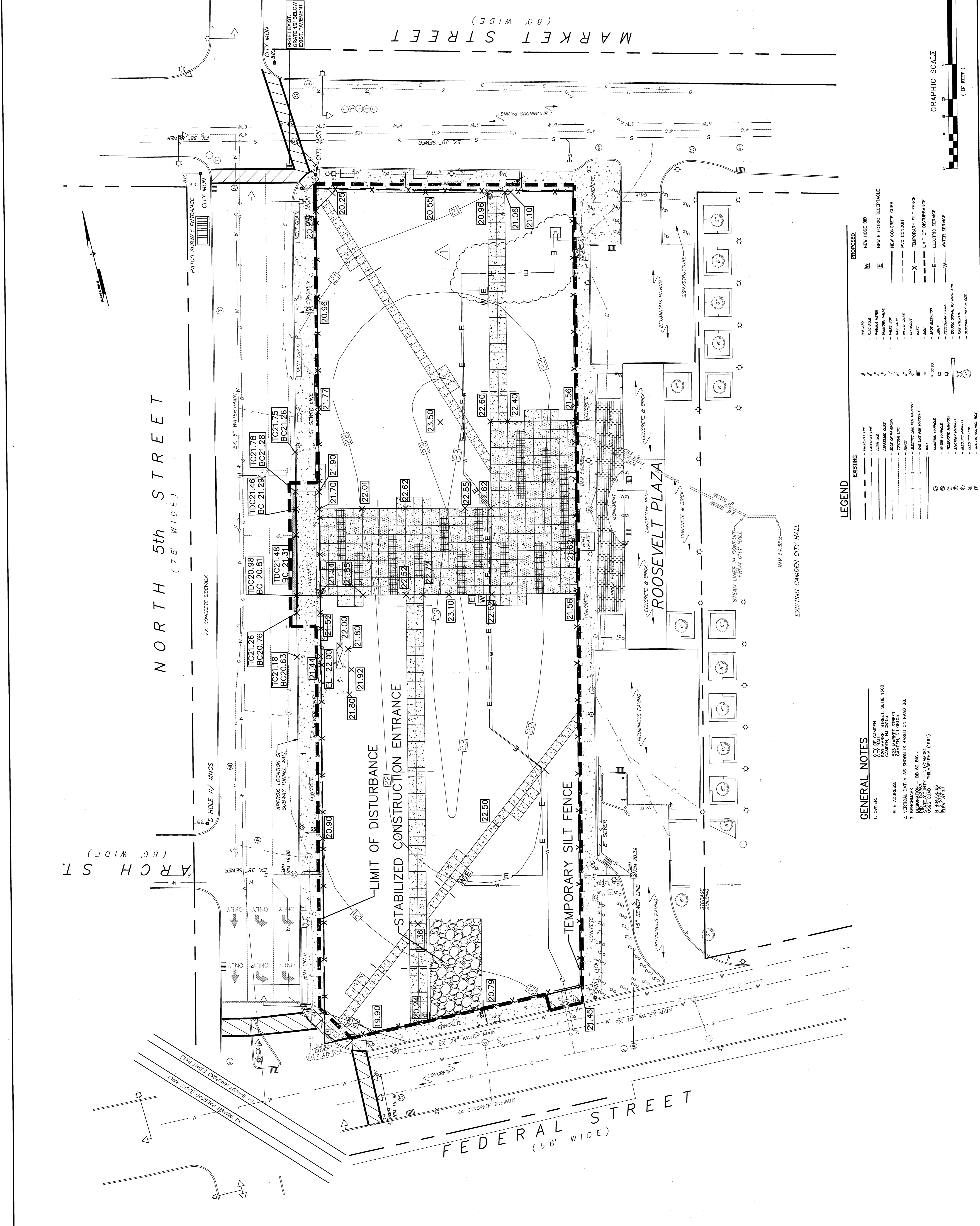
Roosevelt Plaza
 523 MARKET STREET
 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND SHOWN IN FIELD NOTES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND SHOWN IN FIELD NOTES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND SHOWN IN FIELD NOTES.

JOB NO.	CHRA 1101
SHEET	8 OF 9
DATE	8/26/11
SCALE	1"=20'
DATE	8/26/11
BY	BM
APPROVED	

CS-8001

Pennoni Associates Inc.
 515 Grove Street
 Haddon Heights, N.J. 08035
 TEL: 856 • 547 • 0505
 FAX: 856 • 547 • 9174
 WWW.PENNONI.COM



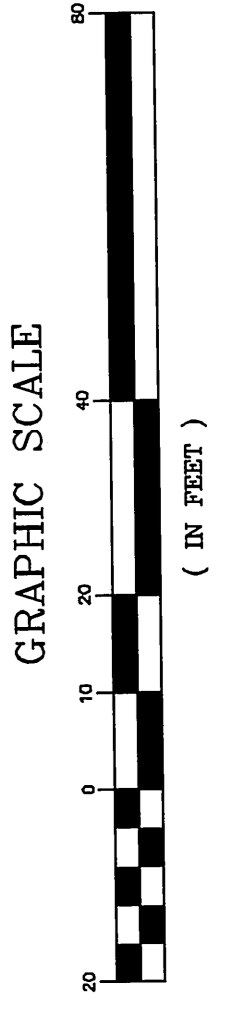
LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- NEW HOSE BIB
--- EASEMENT LINE	--- NEW ELECTRIC RECEPTACLE
--- CURB LINE	--- NEW CONCRETE CURB
--- EXPOSED CURB	--- PVC CONDUIT
--- EDGE OF PARAPET	--- TEMPORARY SILT FENCE
--- CENTER LINE	--- LIMIT OF DISTURBANCE
--- FENCE LINE FOR HANDOUT	--- ELECTRIC SERVICE
--- FENCE LINE FOR HANDOUT	--- WATER SERVICE
--- WALL	
--- UNKNOWN MANHOLE	
--- WATER MANHOLE	
--- TELEPHONE MANHOLE	
--- SANITARY MANHOLE	
--- ELECTRIC MANHOLE	
--- ELECTRIC BOX	
--- PROTECTIVE CONTROL BOX	

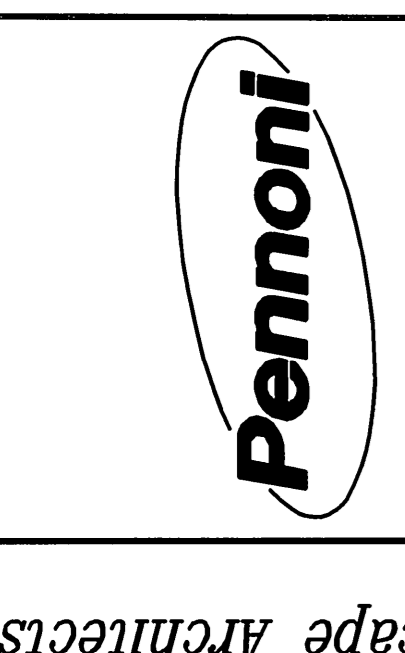
GENERAL NOTES

- OWNER: CAMDEN CITY HALL, SUITE 1300, CAMDEN, NJ 08103
- SITE ADDRESS: 523 MARKET STREET, CAMDEN, NJ 08103
- BENCHMARK: BB 62 BIG J, STATE COUNTY - NJ/CAMDEN, USGS GRID - PHILADELPHIA (1984) ELEV. 33.22

VERTICAL DATUM AS SHOWN IS BASED ON NAVD 83.



Engineers • Surveyors • Planners • Landscape Architects



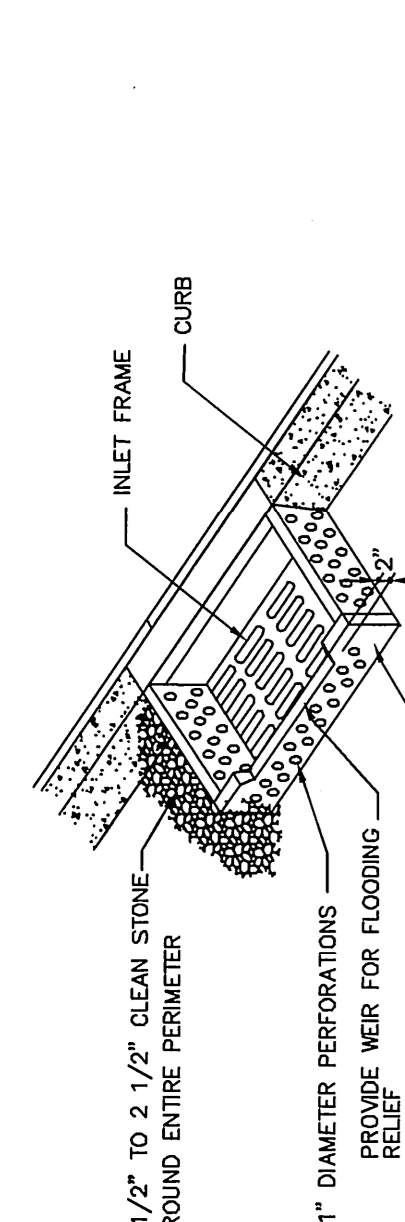
NO.	DATE	REVISIONS

CHAD GAULRAPP
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 02 41350

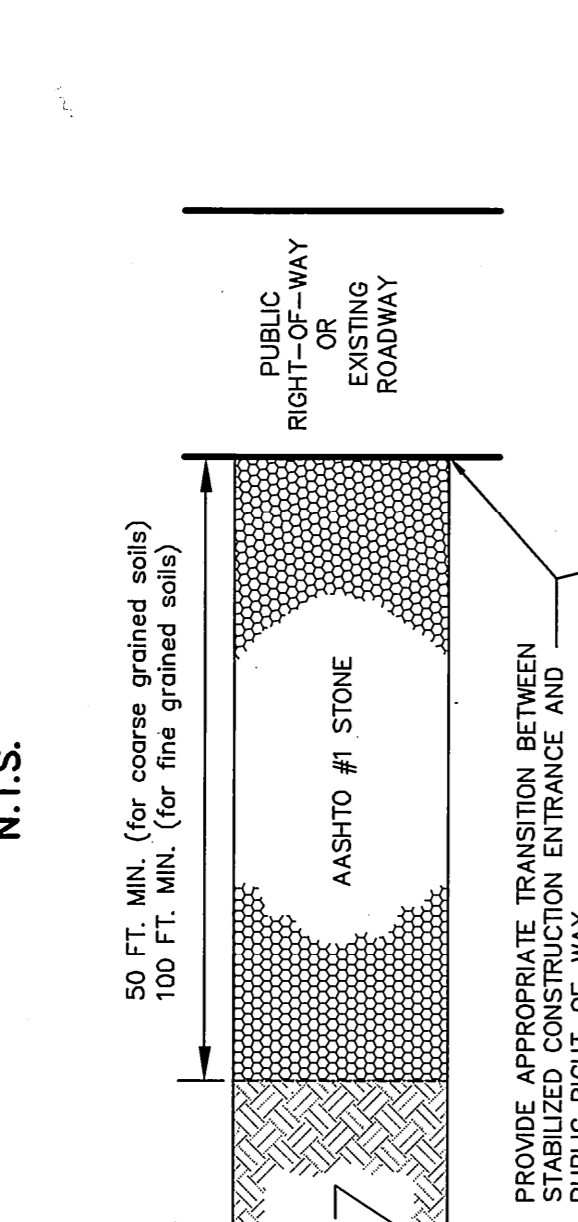
ROOSEVELT PLAZA
 523 MARKET STREET
 CITY OF CAMDEN, CAMDEN COUNTY NEW JERSEY
 CAMDEN REDEVELOPMENT AGENCY
 520 MARKET STREET, CAMDEN CITY HALL, SUITE 1300
 CAMDEN, NJ 08103

SCALE	AS SHOWN	DRAWING NO.	CS-8501
DATE	8/26/11	SHEET	9 OF 9
BY	BM	APPNOV	

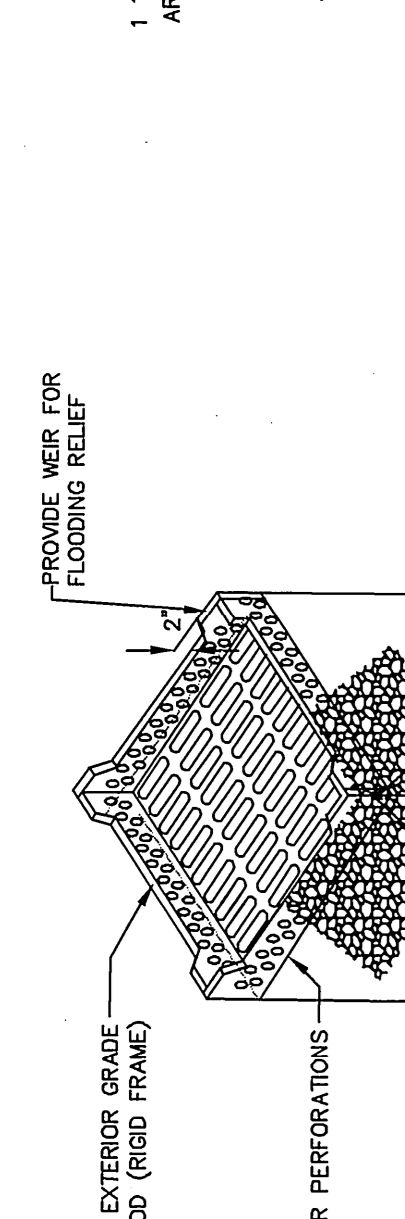
Pennoni Associates Inc. 515 Grove Street Hadon Heights, N.J. 08035
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 TEL: 856 • 547 • 0505 FAX: 856 • 547 • 9174 WWW.PENNONI.COM



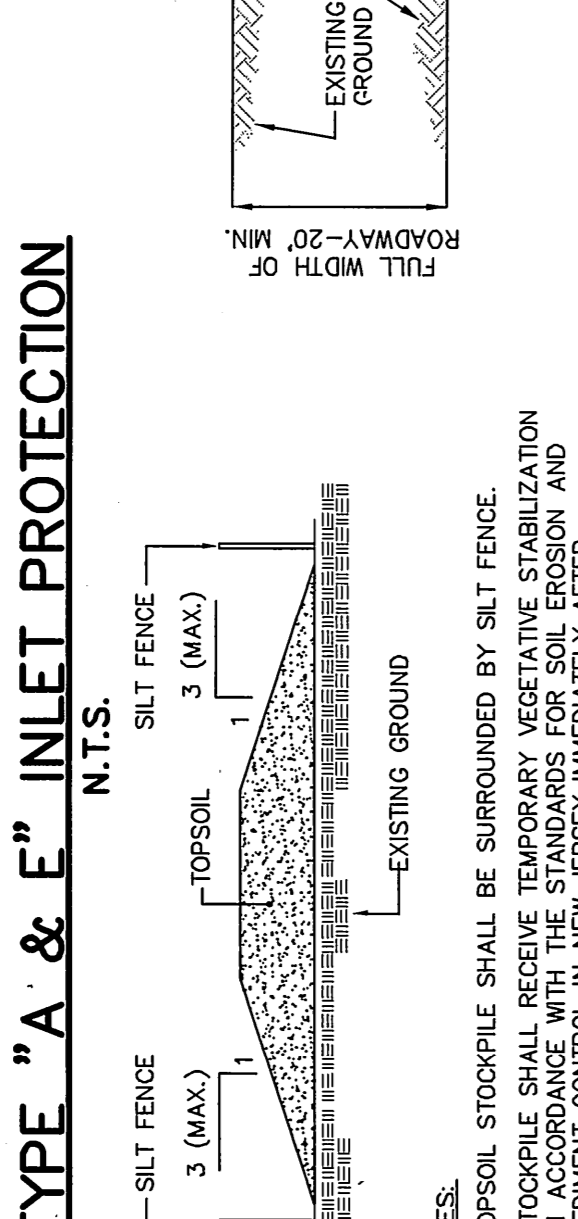
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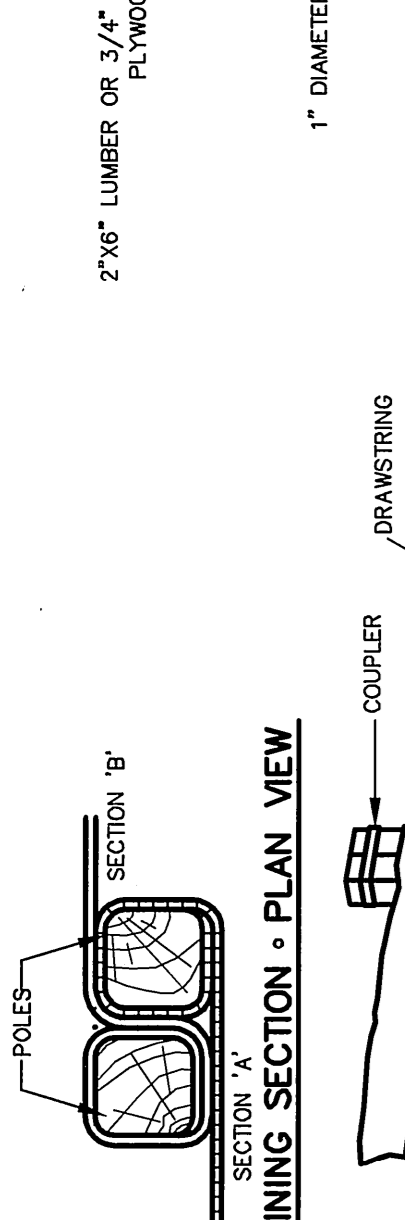
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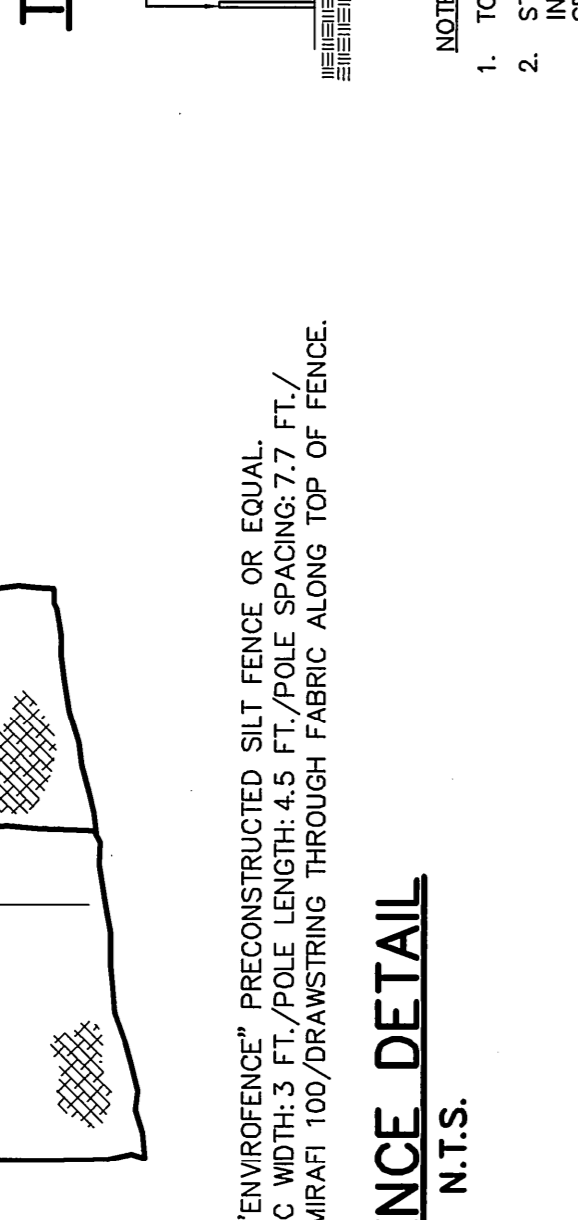
TOPSOIL STOCKPILE DETAIL
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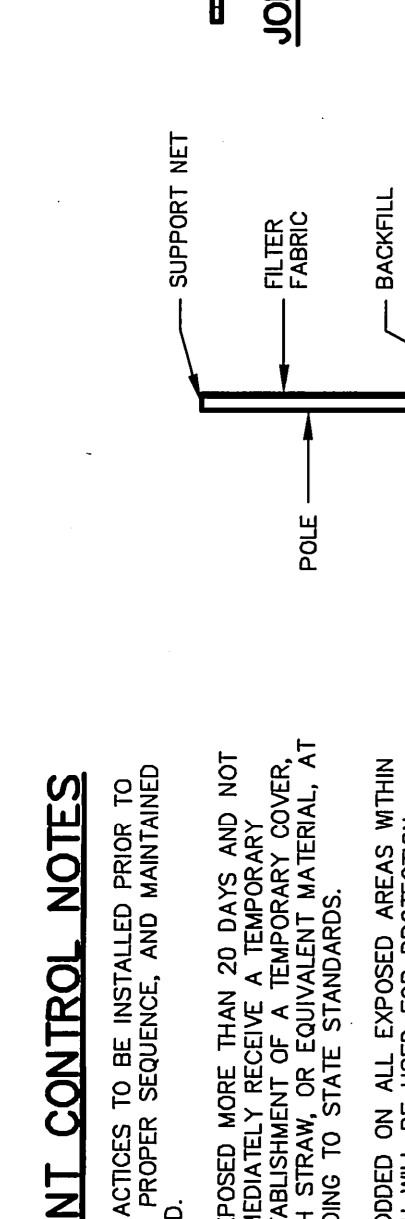
SILT FENCE DETAIL
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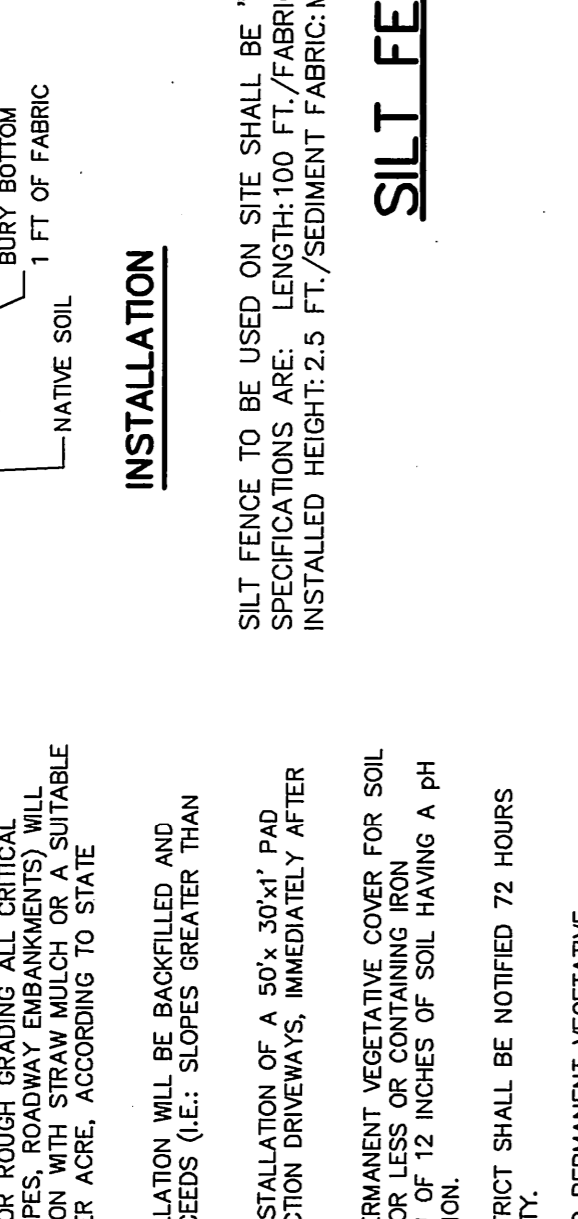
STABILIZED CONSTRUCTION ENTRANCE
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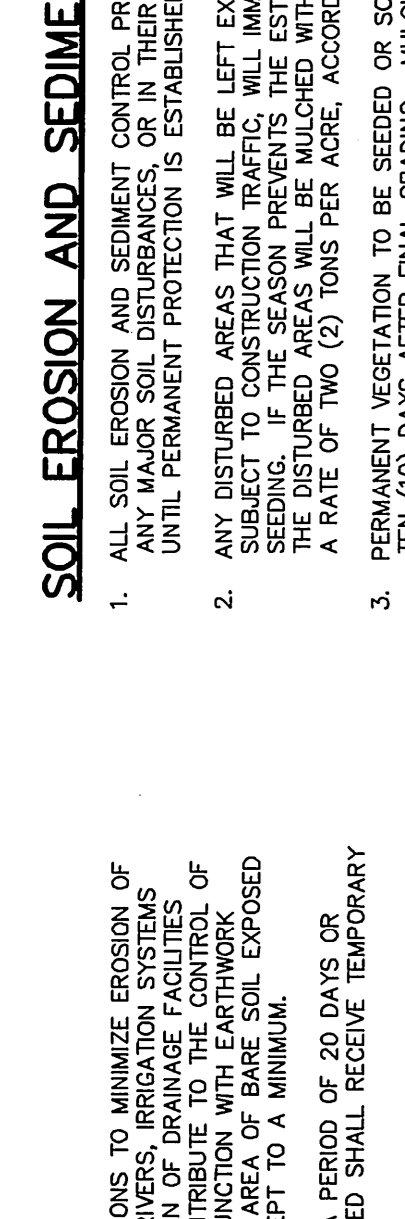
SILT FENCE DETAIL
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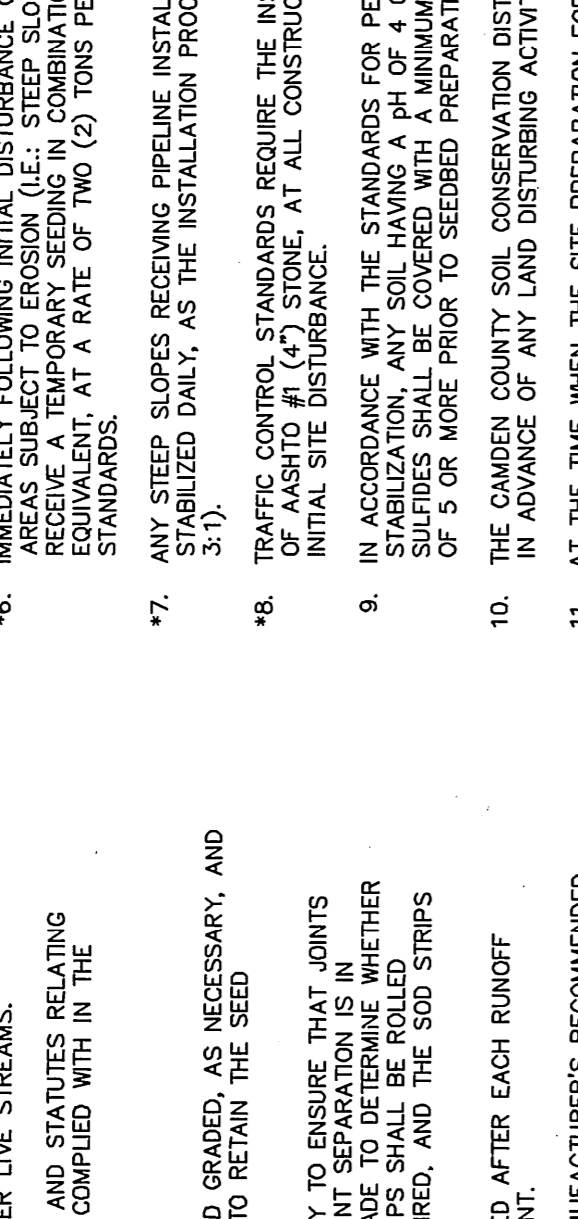
SILT FENCE DETAIL
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SILT FENCE DETAIL
 N.T.S.



SILT FENCE DETAIL
 N.T.S.



SILT FENCE DETAIL
 N.T.S.

GENERAL
 THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATIONS TO MINIMIZE EROSION OF THE BARRIERS AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

TEMPORARY EROSION AND SEDIMENTATION CONTROL
 TEMPORARY EROSION AND SEDIMENTATION CONTROL SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

TEMPORARY VEGETATIVE COVER
 VEGETATIVE COVER SHALL BE APPLIED TO ALL EXPOSED AREAS OF DISTURBED SOIL. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

TYPE OF MATERIAL	PERCENT BY WEIGHT	APPLICATION RATE	ALLOWABLE SEEDING DATES
ANNUAL HYDRAGRASS	100%	1.5 LB / 1000 SF	4/1 TO 5/31
CEREA RYE	100%	2.6 LB / 1000 SF	9/1 TO 10/15
FOXTAIL MILLET	100%	0.7 LB / 1000 SF	6/1 TO 8/31

MATERIALS	TYPE	APPLICATION RATE	ALLOWABLE SEEDING DATES
LIME	RAILROAD POLYNETIC 50% Ca O Mg O	2 TONS/ACRE	4/1 TO 5/31
FERTILIZER	P K N 10 10 10	600 LB/ACRE	4/1 TO 5/31

VEGETATIVE COVER	PERCENT BY WEIGHT	APPLICATION RATE	ALLOWABLE SEEDING DATES
FESTUCA ARUNDINACEA	30%	150 LBS PER ACRE OR 5 LB PER 1000 SQ FT.	4/1 TO 5/31
POA PRATENSIS 'ALENE'	15%		9/1 TO 10/15
POA PRATENSIS 'CACHÉ'	15%		9/1 TO 10/15
LOLUM MULTICOLORUM	10%		9/1 TO 10/15

VEGETATIVE COVER	PERCENT BY WEIGHT	APPLICATION RATE	ALLOWABLE SEEDING DATES
ERISYME FOLIOLATA	20%		4/1 TO 5/31
PANICUM CLAMATETINUM 'TIGRA'	20%		9/1 TO 10/15
CAREX VULPINOIDEA	20%		9/1 TO 10/15
ELIMIS VIRGINICUS	15%		9/1 TO 10/15
AGROSTIS SCABRA	15%		9/1 TO 10/15
JUNCUS TENUIS	15%		9/1 TO 10/15

SOIL EROSION AND SEDIMENT CONTROL NOTES
 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

INSTALLATION
 1. ANY STEP SLOPES RECEIVING PREPARE INSTALLATION WILL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

CONSTRUCTION SEQUENCE
 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AS NOTED ON PLANS.
 2. STRIP AND REMOVE TOPSOIL.
 3. INSTALL PVC CONDUIT FOR IRRIGATION, LIGHTING CONDUIT AND WATER SERVICES.
 4. INSTALL WATER SERVICES/IRRIGATION AND ELECTRICAL, RECEPTACLE SERVICES.
 5. INSTALL SITE CONCRETE AND PAVEMENT SURFACES.
 6. INSTALL SITE FURNITURE.
 7. INSTALL PROPOSED TREES.
 8. SOO ALL DISTURBED AREAS.
 9. REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER SOO.
 VEGETATIVE COVER HAS BEEN ESTABLISHED.

DURATION
 2 DAYS
 1 WEEK
 1 WEEK
 1 WEEK
 2 WEEKS
 1 WEEK
 1 WEEK
 1 WEEK
 2 DAYS

INSTALLATION METHODS
 1. 6" OF CLEAN TOP SOIL SHALL BE PROVIDED ON ALL AREAS OF DISTURBANCE WHERE TOPSOIL IS NOT AVAILABLE. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

MAINTENANCE
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY AREAS OF DISTURBANCE. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.

NOTES
 1. TOPSOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE BARRIERS AND SEDIMENT CONTROL PRACTICES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.